

PLANNING COMMISSION STAFF REPORT

Carriage Court
Planned Development Petition 410-08-16
2734 S 1000 E
August 13, 2008



Planning and Zoning Division
Department of Community
Development

Applicant:

ADC Corporation

Staff:

Doug Dansie, Senior
Planner 535-6182
doug.dansie@slcgov.com

Current Zone: SR-1
Special Residential
Low Density

Master Plan

Designation: The Sugar
House Future Land Use
Designation is "Low
Density Residential" (5-
10 dwellings units/acre).

Council District:

District 7,
Councilmember Soren
Simonsen

Acreage:

Approximately 0.8122
Acres

Current Use:

Residential

Applicable Land Use**Regulations:**

- 21A.24.080 SR-1 And
SR-1A Special
Development Pattern
Residential District
- 21A.54.080 Standards
for Conditional Uses

REQUEST

Petition 410-07-45: Is a request by ADC Corporation for a Planned Development to construct three (3) duplex/ six (6) unit new residential planned development. The site is located at 2734 South 1000 East and has primary access off of Forest View Circle. The site is presently occupied by a single family home.

PUBLIC NOTICE

Notice of the August 13, 2008 public hearing was mailed on July 29, 2008 to all property owners within 450 feet of the subject property, which satisfied the required fourteen day noticing provision for conditional uses and planned development requests. A sign was posted on the property on August 1, 2008, meeting the 10 day posting requirement. The agenda was also emailed to all those on the Planning Division list serve, including community council chairs and business groups. The agenda was posted on the Planning Department website.

STAFF RECOMMENDATION

Based on the comments, analysis and findings of fact outlined in this staff report, Staff recommends, that the Planning Commission grant Planned Development approval of Petition 410-08-16 subject to the following conditions:

1. An attempt is made to salvage the old carriage house or donate it to a museum that will use it as part of their display (plans for Carriage House to be moved or salvaged be reviewed by the Historic Landmark Commission Staff).
2. The applicant shall comply with all City Department and Division conditions as stated in this Staff Report.
3. Prior to relocating or demolishing the carriage house, the developer provide archival documentation to be submitted to the Utah State Historical Preservation Office.

- 21A.54.150 Planned Developments

Attachments:

- A. Elevations and Site Plans
- B. Department commitments
- C. Community Council Comments
- D. Planned Development Subcommittee comments

VICINITY MAP



OVERVIEW

The project site is located at approximately 2734 S. 1000 E. The property is in the SR-1 zoning district. ADC Corporation desires to construct a condominium cluster of duplexes with a total of 6 units. The proposal is being processed through the Conditional Use/Planned Development review because the applicant seeks modification to requirements of the SR-1 zoning district by having multiple units on a single lot. Strict enforcement of the ordinance would result in three separate lots with individual driveways and street frontages. The owner proposes to consolidate the development onto one lot in order to save the pond and some landscaping and to consolidate driveways. The Project will have condominium ownership with the common landscaped grounds. The main detraction of the proposed project is the elimination of a historic building. The building is not listed on the register of historic places but has historical value. It is located close to the street, which does not make it unusable, but it does alter the site layout. The building is a former carriage house - not an inhabitable unit. The architecture of the new development is taking its cues form the carriage house. It has been suggested that he carriage house be offered to a museum for use elsewhere

Existing Conditions

The proposed site is occupied by an existing single family home and “carriage house”. The site has large trees and is adjacent to a natural pond. The site is bordered on the north and west by another planned development condominium, and on the east and south by single-family homes.

SURROUNDING ZONING DISTRICTS:

North = SR-1
South = R-1-7000
East = R-1-7000
West = SR-1

SURROUNDING LAND USES:

North = Multi-family planned development
South = Single-Family Residences
East = Single-Family Residences
West = Multi-family planned development

COMMENTS

Public Comments

The petition was presented to the Sugar House Community Council on June 4. They requested that efforts be made to protect the carriage building and integrate it into the project or donate it to This is the Place Monument. See comments in Attachment C.

Planning Commission Subcommittee

The Planning Commission held a Planned Development sub-committee meeting on May 20, 2008. Commissioners recommended that Mr. Richards contact the City's arborist to look at the trees on the property, especially on the 1000 East property line; Xeriscape the north and south property lines and work with Rocky Mountain Power to figure out vault placement. Comments in Attachment D

City Department Comments

Comments submitted to the Planning Division are listed in Attachment B.

STAFF ANALYSIS AND FINDINGS

Project History

The subject property is a double frontage lot with street frontage along both 1000 East and Forest View. The site has historical significance because it is adjacent to natural springs that functioned as an "oasis" during early settlement period. Adjacent planned developments have used the ponds as an amenity for their developments. The site has a building of historical value on it: an old carriage house, although it is not a designated structure.

Master Plan Discussion

The **Sugar House Master Plan**, adopted in 2005, identifies the site of the as being part of the Future Land Use Designation; "Low-density Residential" (5-10 dwellings units/acre). The proposed density complies with the Master Plan Future Land Use Classification.

Standards

Staff Analysis (Conditional Uses; Section 21A.54.080)

The following are the criteria that were in place at the time when the petition was submitted:

- A. General Standards for Approval: A conditional use shall be approved if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with applicable standards. If the reasonably anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards, the conditional use may be denied.

In order to identify and evaluate the detrimental affects and the need for and/or adequacy of mitigating conditions, the Planning Commission shall review and consider the following:

Approval of Conditional Use Application

1. Master Plan and Code Compliance

A. *The proposed development is supported by the general policies of the City Wide, Community, and Small Area Master plan text and the future land use map policies governing the site;*

Analysis: As outlined in the planned development portion of this report: The proposed planned development meets the density and land use standards of the master plan and the zoning. .

Finding: The project satisfies this standard.

B. *The proposed development is one of the conditional uses specifically listed in this title; and*

Analysis: Planned developments are allowed in the SR-1 zoning district on sites larger than 9,000 square feet, the site has approximately 35,379 Square feet.

Finding: The project satisfies this standard.

C. *The proposed development is supported by the general purposes and intent of the zoning ordinance including the purpose statement of the zoning district.*

Analysis: The purpose of the SR-1 special development pattern residential district is to maintain the unique character of older predominantly low density neighborhoods that display a variety of yards, lot sizes and bulk characteristics. The uses regulated by this district are generally single family and two family units. The proposed conditional use/planned development involves building three duplex units with common grounds on a site that would otherwise allow more than three freestanding duplex units. See further discussion under planned development.

Finding: The project satisfies this standard.

2. Use Compatibility

The proposed use at the particular location is compatible with the character of the site, adjacent properties, surrounding neighborhoods, and other existing development. In determining compatibility, the Planning Commission may consider the following:

A. *Streets or other means of access to the proposed development are suitable and adequate to carry anticipated traffic and will not materially degrade the service level on the adjacent streets;*

Analysis: The project will primarily be accessed from Forest View Avenue because the topography will allow autos to enter garages on the lower level when entered from Forest View. Salt Lake City Transportation has indicated the street system is adequate to handle additional traffic generated by this proposal.

Finding: The project satisfies this standard.

- B. *The type of use and its location does not create unusual pedestrian or vehicle traffic patterns or volumes that would not be expected with the development of a permitted use. In determining unusual patterns, the Planning Commission shall consider:*

Analysis: The proposed planned development will create no more impact than a traditional allowed development (the same number of units would be allowed under traditional development), it will however allow the developer to alter the site plan to save significant land features such as the pond and to create a more garden like setting.

Finding: The project satisfies this standard. See further considerations that follow.

- i) *The orientation of driveways and if they direct traffic to the major streets or local streets, and, if directed to the local streets, the impacts to the safety, purpose, and character of the local streets;*

Analysis: The driveways are consolidated and access a street that has capacity.

- ii) *Parking locations and size, and if parking plans encourage street side parking to the proposed use which impacts the adjacent land uses;*

Analysis: There will be areas for guest parking on site. As with all residential areas, guests of the residents may choose to use on-street parking on 1000 East or Forest View.

- iii) *Hours of peak land use when traffic to the proposed use would be greatest and that such times and peaks would not impact the ability of the surrounding uses to enjoy the use of their properties; and*

Analysis: The proposed planned development will not alter the hours that a traditional residential development would have.

- iv) *The hours of operation of the proposed use when compared with the hours of activity/operation of the surrounding uses and the potential of such hours of operation do not create noise, height, or other nuisances not acceptable to the enjoyment of existing surrounding uses or common to the surrounding uses.*

Analysis: The proposed operations hours are identical to surrounding residential land uses

- C. *The internal circulation system of the proposed development is properly designed for motorized, non-motorized and pedestrian traffic, and mitigates impacts on adjacent properties;*

Analysis: The site plan indicates adequate access and parking for all units. Pedestrian access is available to both 1000 East and Forest View. The older site plan submitted indicates what could appear to be parking stalls on 1000 East, but these are not legal stalls and specifically are not part of this approval. The colored site plan does not show the existence of the same stalls.

Finding: The project satisfies this standard.

- D. *Existing or proposed utility and public services are adequate for the proposed development and are designed in a manner that will not have an adverse impact on adjacent land uses or resources; and*

Analysis: Public Utilities indicates service is adequate.

Finding: The project satisfies this standard.

- E. *Appropriate buffering such as landscaping, setbacks, and building location, is provided to protect adjacent land uses from light, noise and visual impacts.*

Analysis: The proposed cluster of twin homes/duplexes is focused around a common drive and an existing pond. By approving the project as a planned development, which allows the clustering of buildings, landscaped features are able to be saved. Landscaping is generally greater than if the lots were to be developed as three separate duplex lots. The landscaping is located in a manner that buffers adjacent land uses.

Finding: The project satisfies this standard.

- F. *Detrimental concentration of existing non-conforming or conditional uses substantially similar to the use proposed. The analysis is based on an inventory of uses within a quarter mile radius of the subject property.*

Analysis: Staff conducted an analysis, as required, for this request and found one conditional use (one project with multiple units) and 3 non-conforming uses within a quarter mile radius. The conditional use was for a similar planned development immediately north of the existing project. The land use is permitted, the layout was a planned development. The non-conforming uses are several blocks away and have no impact on this site. No detrimental concentration of similar uses was found.

Finding: The project satisfies this standard.

3. Design Compatibility

The proposed conditional use is compatible with:

- A. *The character of the area with respect to: site design and location of parking lots, access ways, and delivery areas; impact on adjacent uses*

through loss of privacy, objectionable views of large parking or storage areas; or views and sounds of loading and unloading areas;

Analysis: The project will better salvage landscape feature by being approved as a planned development as opposed to traditional development.

Finding: The project satisfies this standard.

B. *Operating and delivery hours are compatible with adjacent land uses; and*

Analysis: Operating hours are identical to adjacent land uses.

Finding: The project satisfies this standard.

C. *The proposed design is compatible with the intensity, size, and scale for the type of use, and with the surrounding uses.*

Analysis: More units could be built with a traditional approach to development. The planned development allows for preservation of natural landscape features. The scale and size of the proposed twin home/duplex units are similar to adjacent twin homes/duplexes. They are tucked into the hillside so that they appear shorter on 1000 East than they do from forest View.

Finding: The project satisfies this standard.

4. Detriment to Persons or Property

The proposed use will not, under the circumstances of the particular case and the conditions imposed, be detrimental to the health, safety, and general welfare of persons, nor be injurious to property and improvements in the community, existing surrounding uses, buildings, and structures. The applicant shall demonstrate that the proposed use:

A. *Does not lead to deterioration of the environment by emitting pollutants into the ground or air that cause detrimental effects to the property or to neighboring properties;*

Analysis: The residential use itself does not inherently cause the deterioration of the environment. The consolidation of driveways minimizes impacts of the overall project and allows for more open space and preservation of natural features.

Finding: The project satisfies this standard.

B. *Does not encroach on rivers or streams or direct run off into rivers or streams;*

Analysis: The planned development preserves the existing pond on site.

Finding: The project satisfies this standard.

C. *Does not introduce hazards or potentials for damage to neighboring properties that cannot be mitigated; and*

Analysis: The proposed land use is identical to neighboring land uses. The residential land use does not introduce chemicals or other hazardous material into the neighborhood.

Finding: The project satisfies this standard.

D. Is in keeping with the type of existing uses surrounding the property, and that as proposed the development will improve the character of the area by encouraging reinvestment and upgrading of surrounding properties.

Analysis: The project will create reinvestment in the neighborhood. The surrounding neighborhood is residential with single and two family structures. This project will continue that pattern and would be allowed as a traditional development. The planned development process allows the project preserves natural ponds on the site and create a unified landscaped setting. The Planned Development process would also allow modification to salvage historical buildings if the owner had chosen to do so.

Finding: The project satisfies this standard.

5. Compliance with Other Applicable Regulations

The proposed development complies with all other applicable codes and ordinances.

Analysis: The proposed building will comply with all other applicable codes and ordinances.

Finding: The project must satisfy this standard.

6. Imposition of the Conditions of Approval

The Planning Commission may impose conditions on the proposed use which are in addition to any conditions specifically listed within this chapter. All conditions imposed shall meet the following criteria:

A. The condition is within the police powers of Salt Lake City.

Analysis: The proposed conditions of approval shown with the recommendation on page 1 of this report are within the police powers of the City.

B. The condition must substantially further a legitimate public purpose.

Analysis: The proposed conditions of approval assure that the project will comply with all applicable codes and ordinances; which are adopted to ensure that the SR-1 special development pattern residential district maintains the unique character of older predominantly low density neighborhoods that display a variety of yards, lot sizes and bulk characteristics.

C. The condition must further the same public purpose for which it is imposed.

Analysis: The public purposes of the proposed conditions are an attempt to assure the project will be completed in an effective manner; and that the project will comply with all applicable codes and ordinances.

Finding: The project satisfies this standard.

D. *The applicant/owner may not be required to carry a disproportionate burden in furthering the public purpose; and.*

Analysis: The applicant will be responsible for compliance with all conditions, but these conditions are for the specific project and future residents and are not intended to place a disproportionate burden on the applicant for furthering a public purpose.

Finding: The project satisfies this standard.

E. *Dedications of land and other contributions as conditions of approval must be reasonably related and roughly proportionate to the use of the property for which the conditional use permit is required.*

Analysis: No dedications of land or other contributions are suggested or needed in this case. The existing carriage house has some historical value, but is not listed on the register of historic places. It has been suggested that the building be salvaged or donated to a museum that could use the building. It has also been suggested that if the building is demolished, that it be documented to the satisfaction of the State Historical Preservation Office.

Finding: The project satisfies this standard.

7. Mitigating Conditions

A. *As part of their review, the Planning Commission may impose mitigating conditions on the proposed development.*

Analysis: No adverse impacts are anticipated by consolidating units into a planned development therefore no mitigating conditions are suggested.

Finding: The project satisfies this standard.

B. *These conditions may include but are not limited to the following areas: landscaping; access; loading and parking areas; sanitation; drainage and utilities; architecture and signage; fencing and screening; setbacks; natural hazards; public safety; environmental impacts; hours and methods of operation; dust, fumes, smoke and odor; noise, vibrations; chemicals, toxins, pathogens, and gases; and heat, light, and radiation.*

Analysis: No additional aspects of this standard are deemed necessary for the approval of this project.

Finding: The project satisfies this standard.

C. *The conditions which are imposed on a conditional use permit must be expressly attached to the permit and cannot be implied.*

Analysis: The conditions are expressly attached and not merely implied.

Finding: The project satisfies this standard.

8. Denial of Conditional Use Application

The following findings or others may, in the judgment of the Planning Commission, be cause for denial of a conditional use application:

A. *The proposed use is unlawful.*

Analysis: The proposed planned development is allowed by code. It is not unlawful.

Finding: The project satisfies this standard.

B. *Conditions of approval could not reasonably mitigate the negative impacts of the proposed use.*

Analysis: No adverse impacts are anticipated with the planned development.

Finding: The project satisfies this standard.

C. *The proposed use would create or pose a nuisance, conflict, or hazard relating to noise, vibration, light, electrical or electronic interference, traffic, odor, fumes, dust, explosion, flooding, contaminations, or other negative effects on the neighboring properties or the community in general, without adequate mitigation.*

Analysis: No nuisance, conflict, or hazard relating to noise, vibration, light, electrical or electronic interference, traffic, odor, fumes, dust, explosion, flooding, contaminations, or other negative effects on the neighboring properties or the community in general are anticipated. Any of these aspects that may be perceived as negative that would not be allowed by right with a traditional development.

Finding: The project satisfies this standard.

Staff Analysis (Planned Development)

In approving any planned development, the Planning Commission may change, alter, modify or waive any provisions of this title or of the city's subdivision regulations as they apply to the proposed planned development. No such change, alteration, modification or waiver shall be approved unless the planning commission shall find that the proposed planned development:

1. *Will achieve the purposes for which a planned development may be approved pursuant to subsection A (planned development purpose statement) of this section (Section 21A.154);*

Analysis: The proposed development meets the general size and area requirement of the zoning. The proposed design will promote a creative approach to the use of land resulting in better design and development. Section 21A.54.150 indicates that the purpose of a planned development is to provide flexibility in the ordinance to achieve the following objectives:

1. Creation of a more desirable environment than would be possible through strict application of other City land use regulations.
2. Promotion of a creative approach to the use of land and related physical facilities resulting in better design and development, including aesthetic amenities.
3. Combination and coordination of architectural styles, building forms and building relationships.
4. Preservation and enhancement of desirable site characteristics such as natural topography, vegetation and geologic features, and the prevention of soil erosion.
5. Preservation of buildings, which are architecturally or historically significant or contribute to the character of the City.
6. Use of design, landscape or architectural features to create a pleasing environment.
7. Inclusion of special development amenities.
8. Elimination of blighted structures or incompatible uses through redevelopment or rehabilitation.

The proposed project is in conformity with objectives 1, 2, 3, 4, 6 and 7 of Section 21A.54.150. The project is not inconsistent with other criteria, they are generally not applicable.

Finding: The project satisfies the purposes for planned developments.

2. *Will not violate the general purposes, goals and objectives of this title and of any plans adopted by the planning commission or the city council.*

Analysis: The following table shows the dimensions of the six proposed dwelling units compared to the minimum lot standards in the SR-1 Zoning District:

	Lot Width	Lot Area
SR-1 District Minimum Requirements for Single-Family Attached Dwellings	50 feet of frontage required on a dedicated street for each two units for a total of 150 feet of frontage	24,000 square feet required for 6 dwelling units
	33.73 feet on Forest View 193.85 feet on 1000 East	35,379 Square Feet total

Summary: The table shows that the proposed lot meets the minimum zoning standards for the development of attached single-family dwellings in the SR-1 Zoning District.

The proposed planned development achieves the purposes for which planned developments were instituted and does not detract from the general purposes of the zoning ordinance or any plans, master plans or otherwise, adopted by the Planning Commission or City Council. Specifically, the project supports the intent of the Zoning Ordinance to accommodate medium density residential units at this location.

Finding: The project satisfies the purposes of the Zoning Ordinance.

21A.54.150E - Other standards.

Standards for Planned Development Approval include the following:

1. It must meet the minimum lot size.

Discussion: The minimum lot size for a planned development in the SR-1 Zoning District is 9000 Square feet. This site is 35,379 square feet and therefore meets the requirement.

Finding: The project meets the criteria.

2. Residential density may not be greater than the base zone.

Discussion: The SR-1 District allows two family dwelling units on 8000 Square foot lots. Three two-family lots would require 24,000 square feet. The site has over 35,000 Square feet therefore the density is not greater than what is allowed in the base zoning district.

Finding: The project meets this standard.

3. Reduced width streets must be properly engineered.

Discussion: The developer does not propose a reduced width public right-of-way adjacent to this project. Driveways will be consolidated into one main drive for the three duplex units.

Finding: The street is appropriate in width.

4. The perimeter side and rear yard building setback shall be the greater of the required setbacks of the lot or adjoining lot unless modified by the Planning Commission.

Discussion: Yard requirements are being met. Existing structures on the site (to be demolished) do not meet yard requirements.

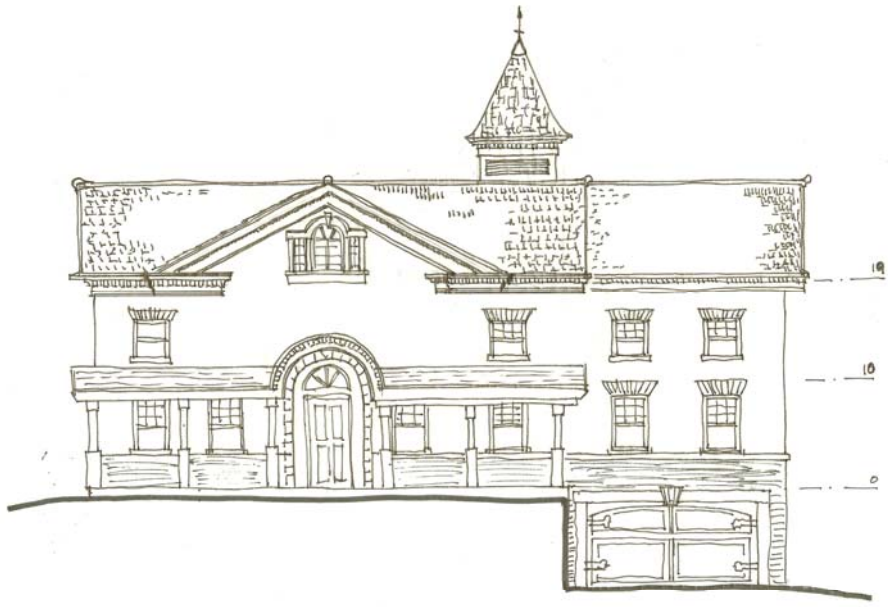
Finding: The project meets this standard.

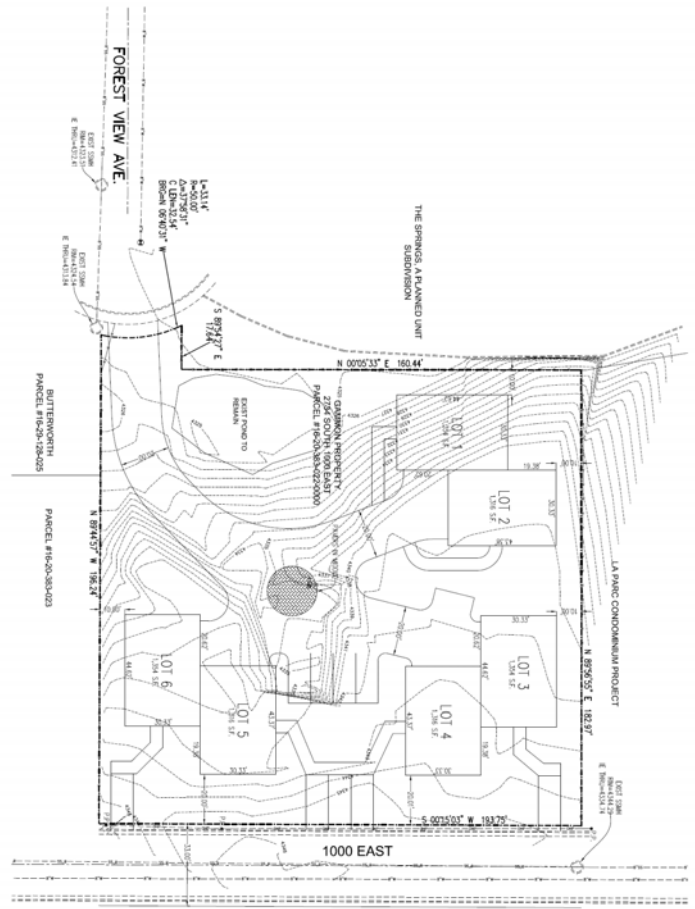
5. The Planning Commission may increase or decrease the side or rear yard setback where there is a topographic change between lots.

Discussion: The site has topographic change and natural features that warrant the proposed layout. The layout tucks the duplexes into the hillside to minimize their impact and maximize open space.

Finding: The project meets this standard.

Attachment A
Elevations and Site Plan



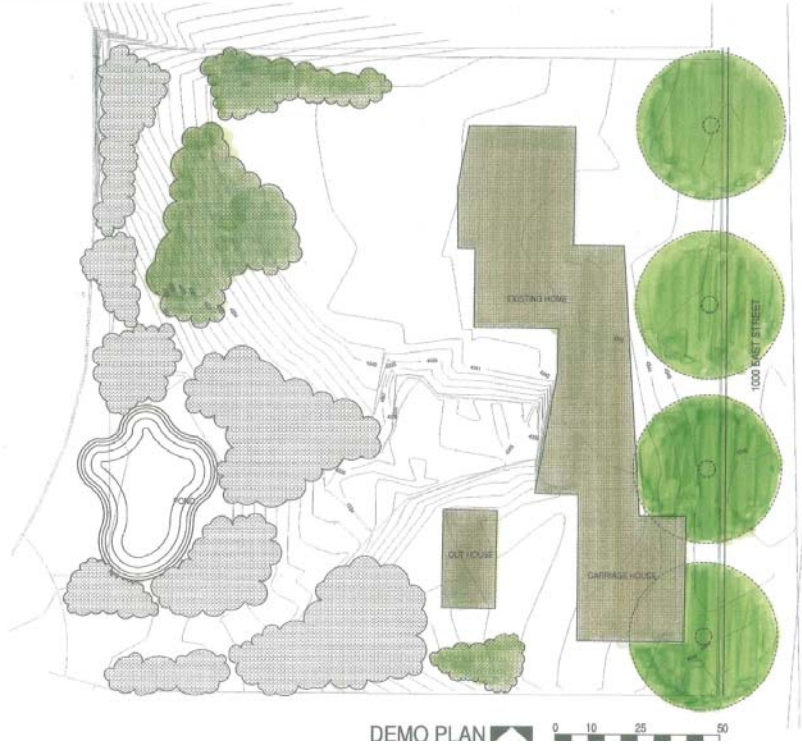


GENERAL NOTES

- 1. ZONE SHOWN REQUIRES APPROVAL FROM LOCAL GOVT.
- 2. THE SHOWN LOT AREA IS APPROXIMATE AND SUBJECT TO SURVEY.
- 3. THE SHOWN LOT AREA IS SUBJECT TO THE LOCAL GOVT. ZONING ORDINANCES.
- 4. ALL DIMENSIONS AND BEARINGS ARE IN FEET AND INCHES.
- 5. ALL DIMENSIONS AND BEARINGS ARE TO THE CENTER OF THE ROAD.

ELEVATIONS			
FINISH	EXISTING	FINISH	EXISTING

ADD CORP. 8684 S. 1000 W. SUITE 100 SALT LAKE CITY, UT 84118	DATE: 08/15/2017	CARRIAGE COURT P.U.D.	SCALE: 1" = 20'
PROJECT ENGINEERING, INC. Drew L. Taylor, P.E. (0000) 1100 W. 1000 S. SUITE 100 SALT LAKE CITY, UT 84118	PROJECT: SALT LAKE CITY	PRELIMINARY DESIGN MAP	DATE: 08/15/17



RESIDENTIAL DEVELOPMENT
 CARRIAGE COURT CONDOMINIUMS
 2611 South 101 East
 BOULDER, COLORADO, U.S.A.

ADAXIS Architects
 1000 East 17th Avenue
 Suite 200
 Denver, CO 80202



RESIDENTIAL DEVELOPMENT
 CARRIAGE COURT CONDOMINIUMS
 2611 South 101 East
 BOULDER, COLORADO, U.S.A.

ADAXIS Architects
 1000 East 17th Avenue
 Suite 200
 Denver, CO 80202

Attachment B
Department Comments

Engineering

TO: DOUG DANSIE, PLANNING DIVISION

FROM: RANDY DRUMMOND, P.E., ENGINEERING

DATE: APR. 23, 2008

SUBJECT: **410-08-16**
Carriage Court Subdivision and Planned Development -
2734 South 1000 East
Preliminary plat

Engineering review comments are as follows:

1. This submission proposal is for the creation of a Planned Development for 6 lots at 2734 South 1000 East as a subdivision. It is our understanding that the existing dwelling will be demolished and 6 new 2-story twin-homes will be constructed. The parcel has dual frontage on both 1000 East and Forest View Avenue and all required right-of-way in both streets exists. On 1000 East, two large trees that are directly behind the curb and gutter have raised the curb and gutter, creating a drainage problem. The two trees must be removed and the curb and gutter replaced as per APWA Std. Dwgs. No. 251 and 205A. If the proposed driveway on Forest View Avenue is to be widened to accommodate the proposed new private access way, it shall be constructed as per APWA Std. Dwg. No. 215.
2. The developer must enter into a subdivision improvement construction agreement. This agreement requires the payment of a fee of 5% of the estimated cost of constructing the roadway improvements. The developer should contact Joel Harrison (535-6234) to discuss insurance requirements for the project.
3. SLC Transportation must review and approve any required street lighting.
4. A certified address must be obtained prior to obtaining a building permit.
5. At least one member of the concrete finishing crew must be ACI certified. The name of the ACI certified finisher must be provided at the pre-construction meeting for the subdivision.
6. A plat is required for the subdivision. I have included a copy of the plat checklist for use by the applicant's consultant in preparing the plat.

Apr. 23, 2008

Doug Dansie

Carriage Court PUD and Subdivision

7. A set of construction drawings for the private access- way are required. They must comply with Salt Lake City Engineering design regulations. Some of the significant requirements are as follows:

Minimum design grade is 0.50%.

The profile view for top of curb on each side and centerline must be shown.

The horizontal scale shall be 1"=20', 1"=30' or 1"=40'. The vertical scale shall be one-tenth the horizontal scale.

The minimum size lettering shall be 1/10" and capital letters shall be used.

The north arrow shall point toward the top or left of the sheet with stationing progressing from west to east or from **north to south**.

The following approval signatures are required on the cover sheet for the project:

SLC Transportation for approval of street geometrics and street lighting.

SLC Fire Department

SLC Public Utility Department (sewer, water & drainage improvements)

SLC Engineering Division (street design)

SLC Planning Department

Drawings must be submitted by the developer to each of these SLC divisions for review.

cc: Brad Stewart
Barry Walsh
Scott Weiler
Vault

SALT LAKE CITY ENGINEERING DIVISION SUBDIVISION PLAT CHECKLIST

PROJECT NAME:

DATE:

The items which are **checked and/or underlined** must be corrected before the City Surveyor accepts or approves the plat. A line drawn through any statement means it is not applicable.

SHEET FORMAT

- _____ Preliminary approval - submit paper copies of plat sheet(s).
Final approval - submit mylar plat sheet(s).
- _____ Sheet size 24" x 36".
- _____ Preferred capital letters in 0.1 inch in height (minimum 0.08 inch).
- _____ Title of plat at least 0.4 inches high at the top of sheet with the
location by $\frac{1}{4}$
Section, Township, Range, Base and Meridian.
- _____ Standard City Engineer's title block.
- _____ Vicinity map.
- _____ Surveyor's certificate, professional stamp, and signature.
- _____ Name, address and phone number of firm preparing the plat.
- _____ North arrow points to the top or left of the plat sheet and in same
direction in
vicinity map. All labels, names and descriptions properly oriented
with the North
arrow.
- _____ Affidavits, jurats.

PLAT DRAWING DETAILS

- _____ Plat scale, minimum 1" = 100'.
- _____ Bearings and distances for boundary lines and lot lines.
- _____ Bearings and distances for right-of-ways and easements.
- _____ Lot size, number, blocks (if any), alleys, street name and number.
- _____ Street curve data, center-lines and/or monument lines.
- _____ Land to be dedicated to public use (green belts, common areas).
- _____ Boundary description.

SURVEY DATA

- _____ All monuments found, set, re-set, replaced or removed, stated at each point, or in legend. Monument caps set by surveyor must be stamped with L.S. number of surveyor and/or company name, designation and date.
- _____ Draw picture of brass caps showing marked and stamped data for any existing monuments and the monuments to be set.
- _____ Show type of boundary markers and lot markers used, minimum type, No. 5 (5/8 " dia.) rebar and cap stamped with the surveyors L.S. number and/or company name.
- _____ Cross reference all documents on plat used to locate monuments, monument lines and lines of record.
- _____ Basis of bearing. Include sufficient data for retracing.
- _____ Measured (M) or measured and adjusted (M&A) horizontal ground distances shown.
- _____ Verification of boundary line locations. The City Surveyor will not accept or approve any plat which does not show areas of confusion, if present.

- _____ Statement of accuracy, Minimum linear closure of 1:15,000.
- _____ Date of survey.
- _____ Survey tie to Section corner, 1/4 corner, land corner of recorded subdivision, etc.
- _____ All measured bearings and distances, with labels, separately noted from those of record.
- _____ Description data agrees with drawing data.
- _____ Description closes mathematically within limits.
- _____ Surveyed intersections of new streets (to be dedicated) and existing streets and 1/4 section lines that intersect. At least two (2) found and/or re-established monuments must be shown on existing streets and/or section lines.
- _____ Whenever elevations are shown on the plat an acceptable benchmark and datum will also need to be noted.
- _____ Applicable tax serial number (parcel I D number) – Utah State Code Section 17-21-20.

NOTE: When subdivision boundary corners have been set, notify SLC Surveyor's office for field check. PHONE: 535-7973

Fire

Fire: The units require a minimum NFPA 13 R fire sprinkler system. The fire department connection shall be within 100 feet of a fire hydrant. No part of the exterior walls shall be within 400 feet of a fire hydrant.

April 23, 2008

Transportation

Doug Dansie, Planning

Re: Petition 410-08-16, for Carriage Court PUD at 2734 So. 1000 E.

The division of transportation review comments and recommendations are as follows:

We reviewed this proposal at the DRT meeting with Dale Kirby AIA (349-2543) for Kim Grammon property to develop 3 twin homes ?PUD Condo? in a SR-1 zone? And referred them to planning.

Preliminary transportation site review info comments were to provide 2 parking stalls per unit with no front yard parking. The proposed driveway needed to comply with city standards for location, width, and access geometrics', grades, horizontal & vertical alignment etc. per the access proposed off Forest Circle.

My field review found that the 1000 East roadway is only 28' wide and allows no on street parking on west side fronting this site. There are existing cottonwood trees at the back of curb that have damaged the curb & gutter along with a dead driveway approach that had not removed per the 12/6/93 Board of Adjustment case #1986-B.

Sincerely,

Barry Walsh

Cc Kevin Young, P.E.
Randy Drummond, P.E.
Ted Itchon, Fire
Peggy Garcia, Public Utilities
Larry Butcher, Permits
File

Public Utilities

Doug,

Public Utilities has reviewed the above mentioned request and offer the following comments;

All design and construction must conform to State, County, City and Public Utilities standards and ordinances. Design and construction must conform to Salt Lake City Public Utilities General Notes.

Fire Department approval will be required prior to Public Utilities approval. Fire flow requirements, hydrant spacing and access issues will need to be resolved with the fire department.

According to our records there is an existing ¾-inch water service connected to the main in 1000 East Street. This meter must be killed per SLC Public Utilities standards. A new culinary water master meter will need to be connected to the six-inch water main in 1000 East. If a new hydrant is required within the property boundary then it must be routed through a detector check valve. A new four-inch minimum sewer lateral must be installed to provide sanitary sewer service to this PUD; this new lateral must be shown on the plans connecting to the sewer main in 1000 East. Minimum pipe grades and State separation standards must be maintained. If this lateral crosses through a neighbor's property an easement must be provided to the lateral owner for the operation and maintenance of the lateral. A site grading and drainage plan must be submitted for review and approval.

If you need any further assistance please contact me.

Jason Brown, PE

Development Review Engineer
Salt Lake City Public Utilities
1530 South West Temple
Salt Lake City, UT 84115
(801) 483-6729
(801) 483-6855 fax
jason.brown@slcgov.com

Airport

Doug,

Thank you for the notice regarding 410-08-16 Planned Development: Carriage Court, located at 2734 South 1000 East. This address is not in an established Salt Lake City airport influence zone. The project does not create any observed impacts to airport operations.

David Miller
Airport Principal Planner
Salt Lake City Department of Airports
P.O. Box 145550
Salt Lake City, UT 84114-5550
801.575.2972
david.miller@slcgov.com

Building Services

Doug,

Building Services has the following comments:

- The proposal is located within the Sr1 Zoning district and the proposed density is in compliance.
- There are fault lines on the property and a fault line study including recommended setbacks and engineering details if needed should be included. It may be appropriate to include a notation on the plat based on the study.

Thank you,

Nole

Nole Walkingshaw
Salt Lake City Planning and Zoning
Senior Planner
801-535-7128

MEMORANDUM

451 South State Street, Room 406
Salt Lake City, Utah 84111
(801) 535-7757



Planning and Zoning Division
Department of Community

TO: Scott Weiler, Engineering 5506
Edward Itchon, Fire Code Review 5490
Peggy Garcia, Public Utilities 5528
Larry Butcher, Building Permits and Licensing 5490
Barry Walsh, Transportation 5502
Dave Askerlund, Police, 5497
Candee Penman, Attorney 5478

FROM: Doug Dansie, Planning 5480

DATE: April 14, 2008

SUBJECT: 410-08-16 – Carriage Court located at 2734 South 1000 East.

Attached is a request for a Planned Development submitted by ACD Corporation. The proposed development, Carriage Court, is located at 2734 South 1000 East.

Please review the attached documents and respond with comments by April 30, 2008. If you have questions or need additional information, please contact me at 535-6182, or doug.dansie@slcgov.com.

Thank you.

From: Dansie, Doug

Sent: Tuesday, April 22, 2008

To: Baxter, DJ; Butterfield, Edward; Boskoff, Nancy; Burbank, Chris; Clark, Luann; Creswell, Lyn; Goff, Orion; Graham, Rick; Harpst, Tim; Riley, Maureen; Rutan, Ed; Niermeyer, Jeff; McKone, Dennis; De La Mare-Schaefer, Mary

Cc: Paterson, Joel; Hunter, Esther; Coffey, Cheri

Subject: 410-08-16 Planned Development: Carriage Court, located at 2734 South 1000 East.

The Planning Division is currently reviewing a request from ACD Corporation for a Planned Development for the property located at 2734 South 1000 East. The property is currently designated SR-1, Special Development Pattern Residential. The Planned Development is being requested so that the applicants may build three duplex units (six units) on approximately 0.80 acres. **As a Department Director/Cabinet Member, courtesy notice is being sent to you to inform you of the project. You are not required to respond to this email unless you choose to do so.** The information regarding this proposal has been sent to the following staff members for review:

Peggy Garcia - Public Utilities

Ted Itchon - Fire

Scott Weiler - Engineering

Barry Walsh - Transportation

Larry Butcher - Permits Counter Supervisor

Dave Askerlund - Police

Candee Penman - Attorney

If you would like to review the details of this proposal, please let me know by April 30, 2008, and I will forward information to you. If you have any questions, please do not hesitate to contact me.

Doug Dansie AICP

Senior Planner

Salt Lake City Corp.

451 South State Street #406

Salt Lake City, UT 84111

(801)-535-6182

Doug.Dansie@slcgov.com

Attachment C
Community Council Comments

historic home on the site
Jeanine Coon 577-4115

Built by Smith brothers in 1856 and 1855

Sugarhouse Community Council Meeting

June 4, 2008

Petition: Multi-Unit Housing Proposal, 2734 South, 1000 East, Salt Lake City, UT
Represented by Dan Richards

Mr. Richards presented the proposal for the Planned Development which consists of several twin homes on the above referenced site. Mr. Richards explained that Salt Lake City Corporation Planning staff had told him that the Carriage House is too close to the street to be used as a habitable piece of the development. Therefore, the structure would be torn down. The elevations of the twin homes were meant to replicate the look of this historic structure.

Trustee Comments:

Chairman Grace Sperry: Stated that the twin homes should be rearranged on the site so that the Carriage House could be saved.

Dave Mulder: Dave stated that everything possible should be done to save the Carriage House because it is an important part of Sugarhouse history.

Sarah Carlson: Sarah expressed her concern that the property should be well integrated into the neighborhood and she asked how the developer intends to make that happen.

Andrea Wargula: Andrea liked the more refined elevation drawings that made the twin homes more closely resemble the Carriage House elevations.

Rawlins Young: Suggested that the developer offer the Carriage House structure to "This Is the Place Monument."

Derek Payne: Suggested that a sidewalk be added to the 10th East street so that people could walk the entire length of the property on a sidewalk.

Summary:

The majority of the Trustees felt that the Carriage House should be incorporated into the planned development in some fashion, whether that be a community clubhouse for the twin homes, or a simple gazebo structure. It was felt that it would be a terrible shame to raze this interesting, historic piece of Sugarhouse history.

COMMUNITY COUNCIL COMMENTS:

The above referenced applicant, met with the Sugar House Community / Neighborhood Council on June 4th 2008. Approximately 30 people attended the meeting. Those in attendance made the following comments relating to the project.

See attached notes

In general, was the group supportive of the project?

Generally, the trustees would like to see the Carriage House rehabilitated. See attached notes.

Signature of the Chair or Group Representative

Derek Payne (Derek Payne, Chairman, Land Use : zoning)

August 6, 2008

Attn: Doug Dansie, Salt Lake City Government

Re: Petition # 410-08-16 / Planned Development Carriage Court

Please submit this letter for the public hearing scheduled on August 13, 2008 for discussion of agenda item referenced above, as we will be out of town and unable to physically represent ourselves.

We, Susan Sandack and David Payne, want it to be known that we are encouraged by word of the proposed development of the carriage house property located at 2734 South 1000 East. It has sat for far too long and we look forward to the upgrade. Because of noise, pollution from cars, children needing a safe place to play outdoors and the desire to sustain our quiet neighborhood that is home for the past fifteen years, we vigorously oppose any plan for public access of this development via Forest View Avenue.

Thank you for allowing us to present our view.

Susan Sandack and David Payne

966 E. Forest View Avenue

801-485-2779

Attachment D
Planned Development Subcommittee Comments

Planning Commission Subcommittee

May 20, 2008

Attendees:

Planning Commission: Robert Forbis, Tim Chambless, and Peggy McDonough.

Planning Division Staff: Doug Dansie

Applicant: Dan Richards

Background and Project Location: Carriage Court: 2734 South 1000 East

Presentation of the project: Mr. Richards proposed a six townhome development (PUD style). Currently on the property is an old home, an old wash house, and an old carriage house, built in the 1800s. The house is a rambler structure.

Staff/Subcommittee recommendation(s), comments and concerns:

Commissioner McDonough inquired if the neighbors cared if Mr. Richards demolished these three structures.

Mr. Richards noted that this property had been deserted for years and the feed back from neighbors he'd received was they would like to see it cleaned up. There were also huge cottonwood trees which needed to be removed because they were the cause a lot of broken debris along the street.

Mr. Dansie noted that he had received two calls from a concerned neighbor, who had wanted to work on preserving the buildings.

Commissioner Forbis inquired if Mr. Richards had had a City arborist look at the trees, before Mr. Richards removed them.

Mr. Richards noted that he personally had not, but he did not know if any of the other City departments had requested it as this petition had circulated through the different City departments. He noted he would be willing to plant new trees, if the trees were old and diseased and needed to be removed, and all of the large caliber trees within the property would be kept.

Commissioner Chambless noted that he requested that no Russian Olive trees be planted.

Mr. Richards noted that he was not looking for density on the property, but wanted to keep the integrity of the natural landscaping and open space. He also noted that he intended to incorporate the architectural structure of the carriage house into the new buildings.

Commissioners asked what would happen to the carriage house.

Mr. Richards stated that he had asked the Historical Department of the LDS church and the State Historic Society if they wanted to do anything with it, but he had not heard back from either of them yet.

Commissioners inquired if the townhouses would have basements. They were concerned with a pond on the property that there would be below ground level water issues. They also inquired where the garages would be located.

Mr. Richards stated that that a geological survey and ground water study had been done and they had gone down 25-38 feet at one point and there were no fault lines or water element issues. He noted that the garages would be built into the hillside to fully use the natural slope of the area and preserve the natural feel.

Mr. Richards noted that he would use xeriscaping along the 1000 East lot line.

Commissioner Forbis suggested that Mr. Richards start communicating with Rocky Mountain Power as to where he would like the location of power vaults and transformers.

Conclusion:

- **Commissioners recommended that Mr. Richards contact the City's arborist to look at the trees on the property, especially on the 1000 East property line.**
- **Xeriscaping the north and south property lines.**
- **Work with Rocky Mountain Power to figure out vault placement.**